

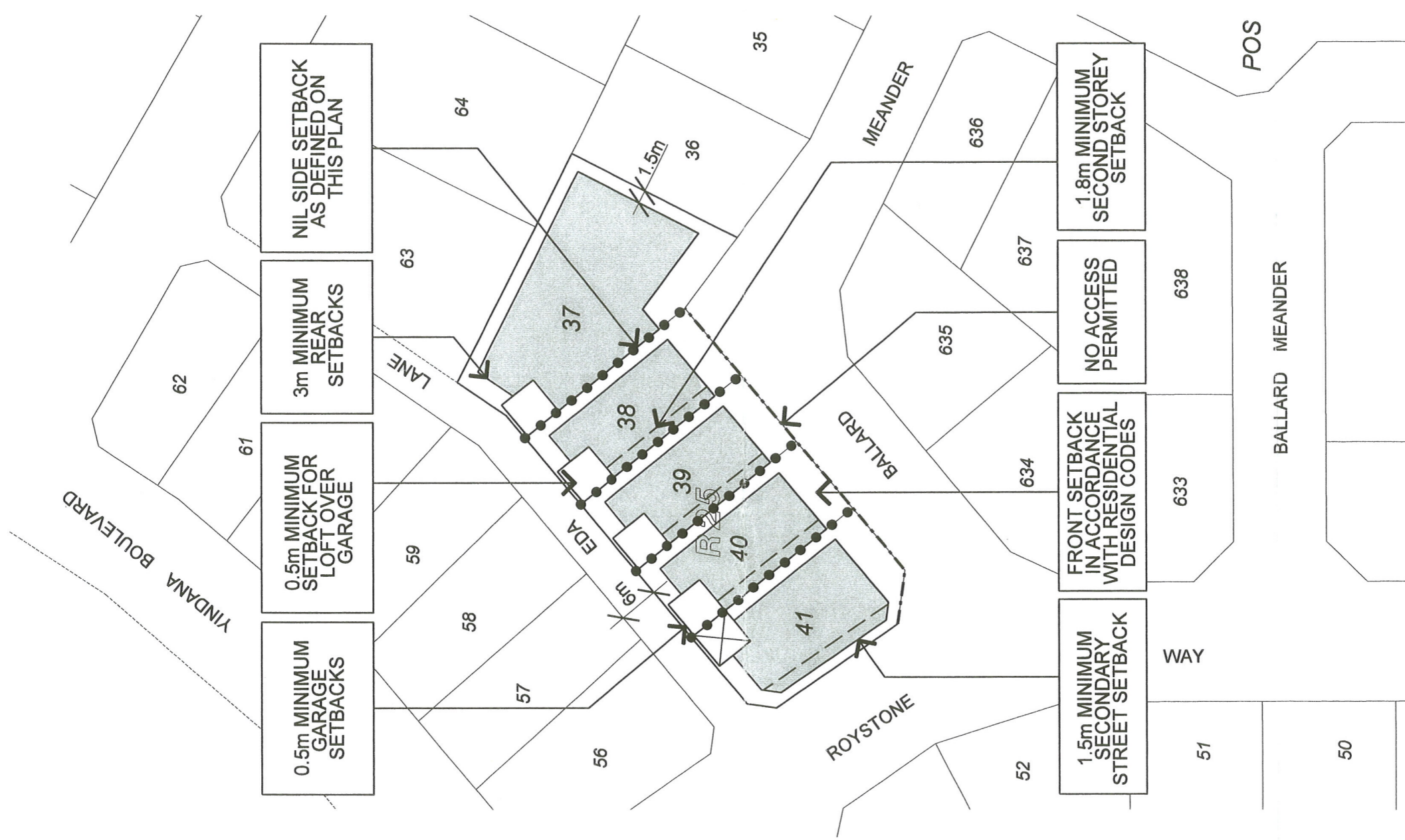
### Legend

-  Building Envelope
-  Designated Garage Location
-  Preferred Garage Location
-  Nil Side Setback
-  No Vehicular Access

### R-Code Variations

The District Planning Scheme and R-codes are varied in the following manner:

- ① The dwellings (including patios, verandahs and gazebos) must be constructed within the building envelopes depicted on the Detailed Area Plan (DAP).
- ② With the exception of lots 41 that has a designated garage locations, an alternative garage location to that shown on the DAP may be approved by the Manager, Development Services subject to the development meeting solar access principles, streetscape objectives and statutory requirements.
- ③ A ten percent (10%) variation to the minimum open space shall be permitted for single storey development. Open space shall be calculated in accordance with the provisions of the 2002 Residential Design guidelines.
- ④ A nil side setback for two thirds of the length of the boundary is permissible on the lots where shown on the DAP (generally the southern or western side boundary) except where such boundaries are a secondary street.
- ⑤ A 2.0 metre solar setback applies between dwellings, as shown on the DAP, generally along the boundary which adjoins a permitted nil boundary setback (on an abutting lot). Council will only consider applications for structural development in the solar setback where the principles and benefits of solar access to the dwelling are maintained.



PROJECT

CLIENT  
PEET MANDURAH

DRAWN BY  
M.E.

NUMBER  
ALTERATION

DATE

APPROVAL

R25 - DETAILED AREA PLAN (DAP)  
LAKELANDS

DATE  
5 JANUARY 2004

PLAN NUMBER  
93079/07/9

SCALE  
1:750



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